

**Full Size or Largest Size
(site plan, landscape, elevations)**

TRIPLE C HANGAR

14818 N. 14TH STREET
SCOTTSDALE, ARIZONA 85260

OWNER

TRIPLE C AIRPARK PROPERTIES,
LLC; SEND ALL CORRESPONDENCE
THROUGH THE ARCHITECT

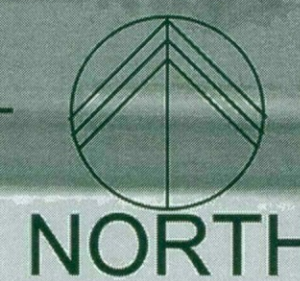
LARSON ASSOCIATES ARCHITECTS, INC.

3807 NORTH 24TH STREET SUITE 100
- LANCE MEINHOLD
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602-955-9929
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AERIAL OVERLAY SITE PLAN

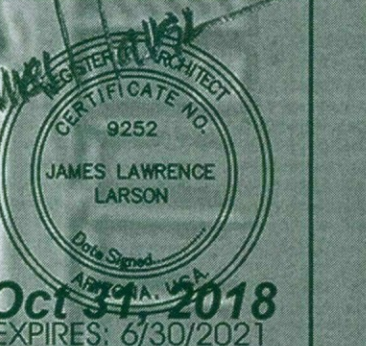
SCALE: 1"=20'-0" 0 10' 40'
5' 20'



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TRIPLE C AIRPARK PROPERTIES
14818 N. 14TH STREET
SCOTTSDALE, ARIZONA 85260
PARCEL #215-56-047



Drawing Name:
AERIAL OVERLAY
SITE PLAN

Revisions

Date: 11/02/18

Project Number:
2016-009

Drawing No:

SP13

18-UP-2018
11/13/2018

818-PA-2018

TRIPLE C HANGAR

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SCOTTSDALE, ARIZONA 85260

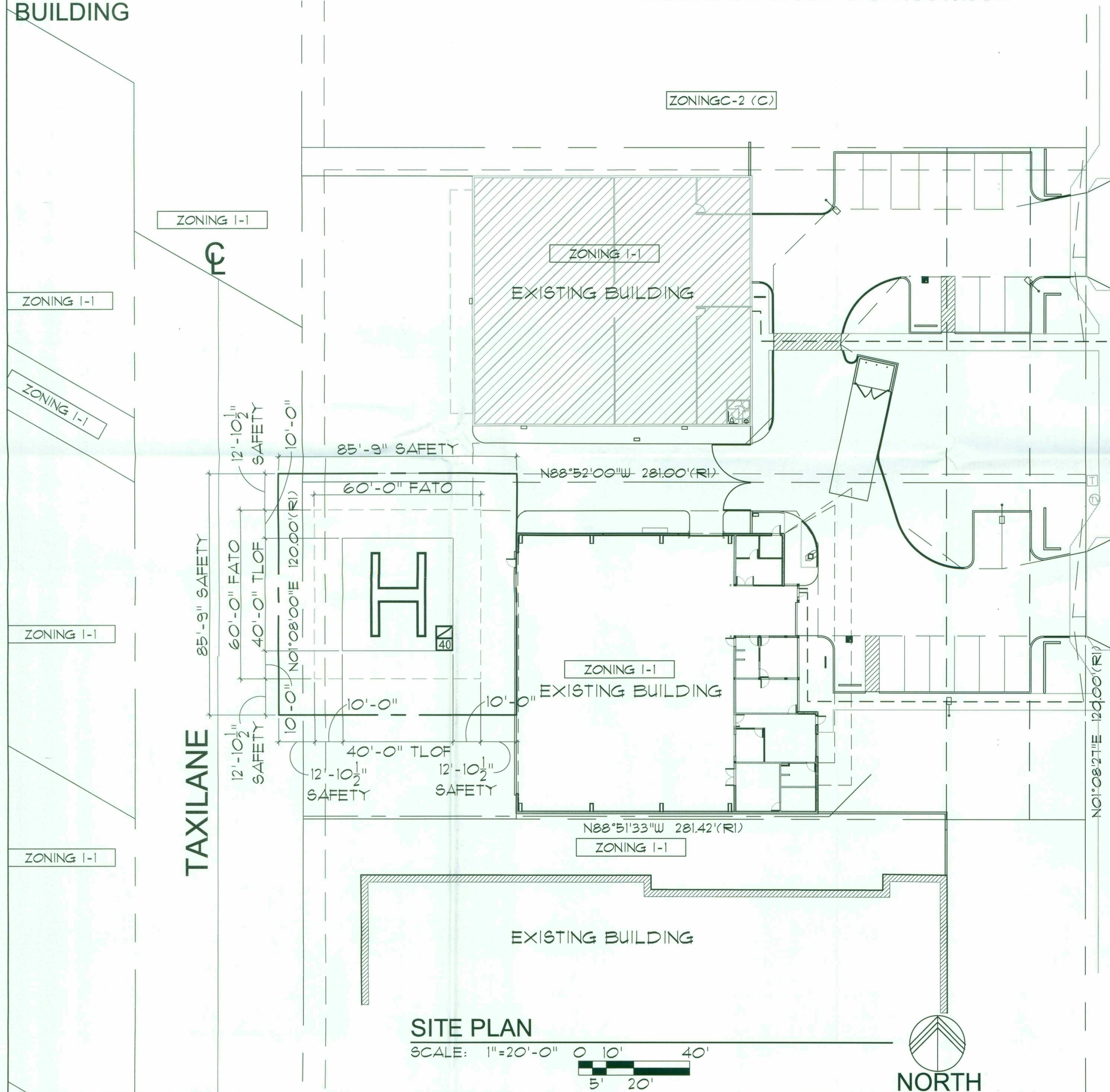
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EXISTING
ADJACENT
BUILDING

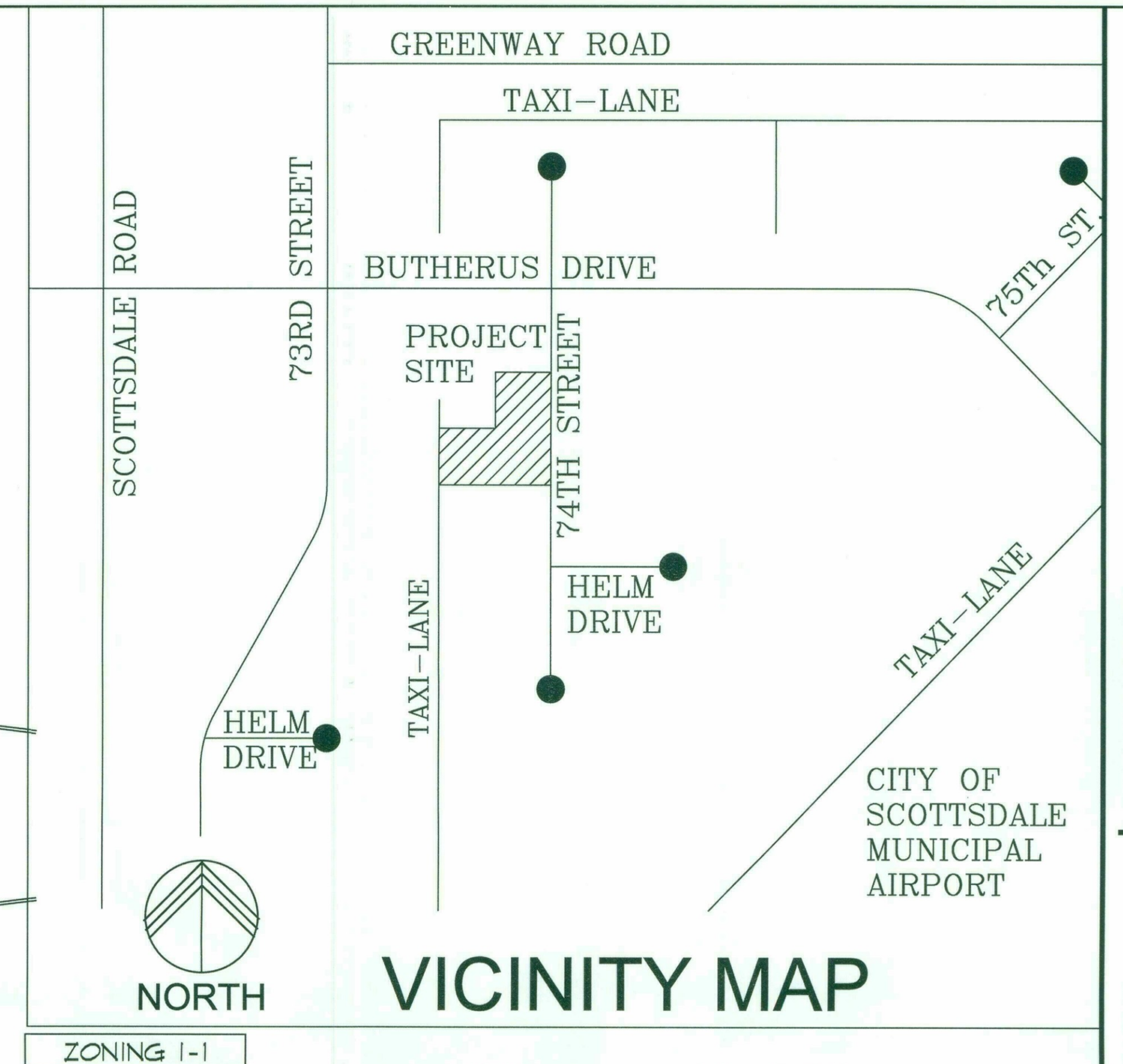


SITE PLAN

SCALE: 1"=20'-0"

74TH STREET

HELM DRIVE



VICINITY MAP

NOTES:

1. THE PERIMETER OF THE TLOF AREA SHALL BE MARKED WITH A 12" WIDE CONTINUOUS WHITE PAINTED LINE.
2. THE PERIMETER OF THE FATO AREA SHALL BE MARKED WITH A 12" WIDE DASHED LINE CLEARLY INDICATING THE CORNERS OF THE PERIMETER. THE PAINTED SEGMENTS OF THE LINE SHALL BE APPROXIMATELY 5' LONG WITH END-TO-END DISTANCE OF APPROXIMATELY 5'.
3. THE TLOF SHALL BE MARKED WITH THE FAA STANDARD "H" CENTERED IN THE TLOF AREA - IN ACCORDANCE WITH FAA-AC 150/2390-2 FIGURE 2-22. THE "H" SHALL BE PAINTED WHITE WITH A BLACK OUTLINE. THE "H" SHALL BE 24' LONG, AND 16' WIDE. THE WHITE PAINTED AREA OF THE LENGTH SEGMENTS OF THE "H" SHALL BE 1'-9" WIDE. THE WHITE PAINTED AREA OF THE MIDDLE WIDTH SEGMENT OF THE "H" SHALL BE 3'-6" WIDE. THE BLACK PAINTED BORDER SHALL BE 6" WIDE.
4. THE FAA STANDARD SIZE AND WEIGHT LIMITATIONS BOX SHALL BE PROVIDE IN ACCORDANCE WITH FAA-AC 150/2390-2 FIGURE 2-22. THE 9'-0" x 6'-9" STANDARD WEIGHT AND SIZE LIMITATION BOX SHALL BE PAINTED IN WHITE WITH 5" WIDE LINES. THE BOX SHALL BE DEVIDE INTO TWO SETIONS (TOP AND BOTTOM) BY A 5" WIDE WHITE LINE. THE TOP SECTION OF HTE BOX SHALL HAVE A 5" WIDE WHITE DIAGONAL LINE PAINTED TO INDICATE NO WIEGHT LIMIT. THE BOTTOM SECTION OF THE BOX SHALL HAVE THE NUMBER "40" PAINTED IN 5" WIDE WHITE LINES TO INDICATE THE MAXIMUM ROTOR DIAMETER FOR THE HELIPAD.

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SCOTTSDALE, ARIZONA 85260
PARCEL #215-56-047



Drawing Name:
SITE PLAN

Revisions

Date: 11/02/18

Project Number:
2016-009

Drawing No:

SP1.0

18-UP-2018
11/13/2018

818-PA-2018

TRIPLE C HANGAR

14818 N. 74TH STREET
SCOTTSDALE, ARIZONA 85260

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THROUGH THE ARCHITECT

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GENERAL NOTES:
1. ALL AIRCRAFT SHALL COMPLY
WITH AIRPARK RULES AND
REGULATIONS PERTAINING TO
AIRCRAFT WINGSPAN RESTRICTIONS
AND INDEMNIFICATION.
2. GROUND COVER OR PAVING FOR
TAXILANE SAFETY AREA THAT IS A
WEIGHT BEARING SURFACE SHALL
NOT INCLUDE ROCKS LESS THAN 2"
IN DIAMETER.
3. ALL EXTERIOR LIGHTING SHALL
BE DOWNWARD TO PREVENT
GLARE TO PILOTS ON SURFACES
FACING THE TAXILANE.

SEE ADDITIONAL NOTES AN SP1.2A

PROJECT DATA

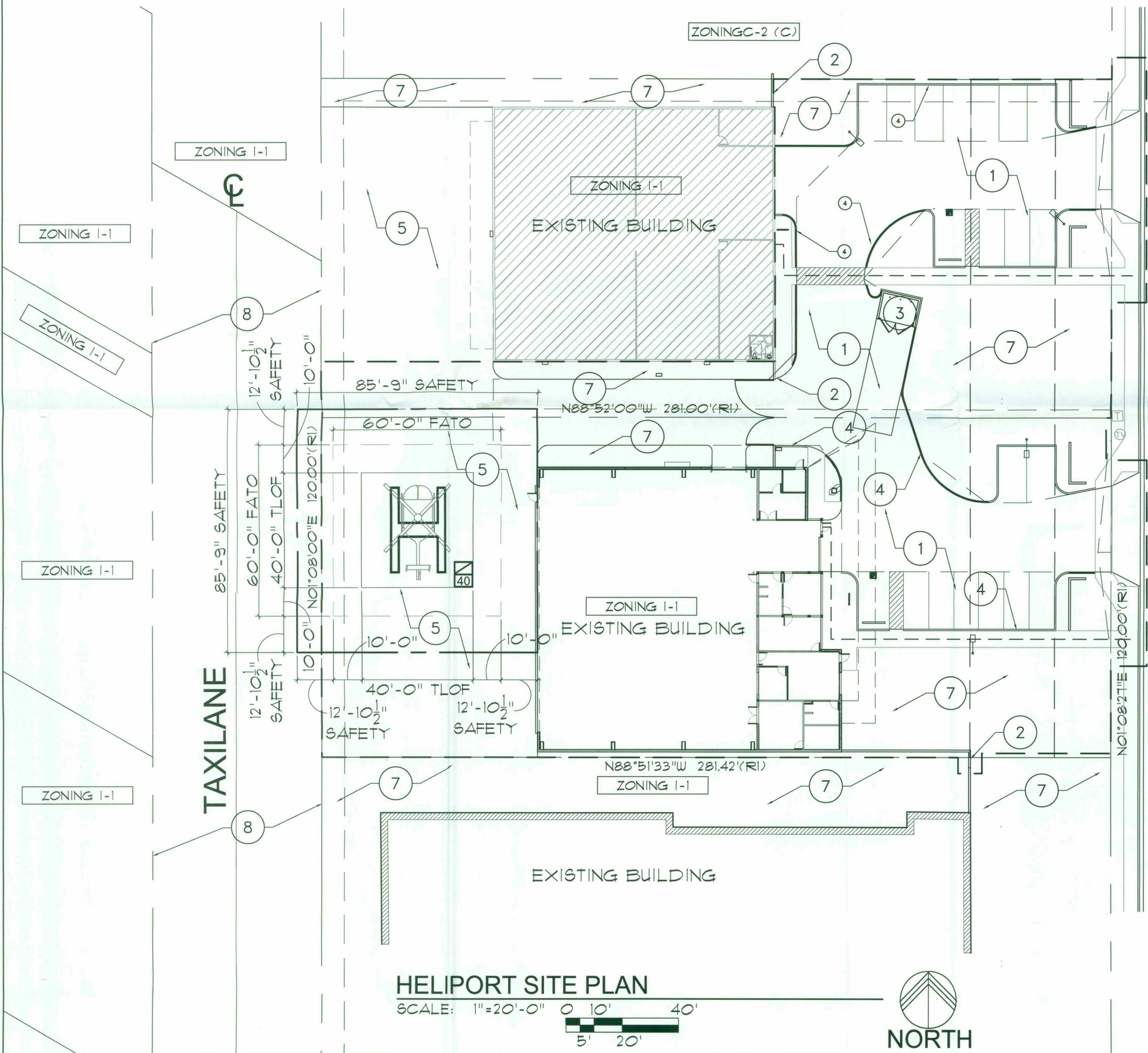
BUILDING AREA (UNCHANGED):
OFFICE: 2,620 S.F.
HANGAR: 7,660 S.F.
MEZZANINE: 2,220 S.F.
TOTAL: 12,500 S.F.
NET LOT AREA: 33,708 S.F.
FLOOR AREA RATIO (F.A.R.): 12,500 /
33,708 = 37.08%

USABLE STAGING AREA:
6,700 S.F.
OTHER AREA (NON-MOVEMENT) 2,539
S.F.
OPEN SPACE: 9,239
S.F.

PARKING IS UNCHANGED
(CALCULATIONS ARE FOR REFERENCE
ONLY)
OFFICE AREA: 2,620 / 300 = 8.7
SPACES
HANGAR AND SUPPORT AREA: 0
SPACES REQUIRED
TOTAL SPACES REQUIRED = 9
SPACES

SITE PLAN KEYNOTES

- 1 EXISTING ASPHALT PARKING LOT
- 2 EXISTING SITE SECURITY WALL
- 3 EXISTING DUMPSTER ENCLOSURE
- 4 EXISTING CONCRETE CURB AND
GUTTER
- 5 EXISTING CONCRETE PAVED STAGING
AREA WITH LESS THAN 2% SLOPE
- 6 EXISTING TAXI-LANE CENTERLINE
- 7 EXISTING LANDSCAPE AREA
- 8 AIRPORT REQUESTED NON-MOVEMENT
AREA PER CITY OF SCOTTSDALE
MUNICIPAL AIRPORT STANDARDS



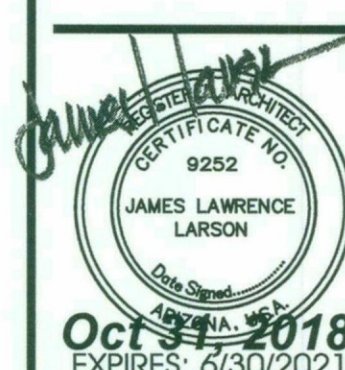
74TH STREET

HELM DRIVE

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14818 N. 74TH STREET
SCOTTSDALE, ARIZONA 85260
PARCEL #15-56-047



Drawing Name:
AIRPORT DATA
SITE PLAN

Revisions

Date: 11/02/18

Project Number:
2016-009

Drawing No:

SP1.1
18-UP-2018
11/13/2018

818-PA-2018

REQUIRED SITE PLAN GENERAL NOTES

- 1. SIGHT DISTANCE TRIANGLES SHALL BE SHOWN ON FINAL PLANS FOR DRIVEWAYS FROM COMMERCIAL SITES AND ANY INTERSECTIONS. AREA WITHIN THE SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 1.5 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- 2. ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- 3. ALL SIGNS REQUIRE SEPERATE PERMITS AND APPROVALS.
- 4. NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
- 5. FLAG POLES, IF PROVIDED SHALL BE ONE PIECE CONICAL TAPERED.
- 6. NO EXTERIOR PUBLIC ADDRESS OR SPEAKER SYSTEM SHALL BE ALLOWED.
- 7. ALL EXTERIOR MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED TO A HEIGHT OF THE TALLEST UNIT BY PARAPET OR SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING. GROUND MOUNTED MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING, WHICH IS A MINIMUM OF 1'-0" HIGHER THAN THE HEIGHEST POINT OF TALLEST UNIT.
- 8. ALL EQUIPMENT, UTILITIES, OR OTHER APPURENANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF FORM, COLOR AND TEXTURE.
- 9. NO EXTERIOR VISIBLE LADDERS SHALL BE ALLOWED.
- 10. ALL POLE MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20 FEET IN HEIGHT.

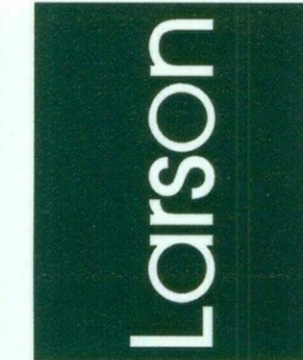
- 11. NO CHAIN LINK OR DOOLEY WALL FENCING SHALL BE ALLOWED.
- 12. ALL EXTERIOR CONDUIT AND RACEWAYS SHALL BE PAINTED TO MATCH THE BUILDING.
- 13. UPON REMOVAL OF THE SALVAGEABLE NATIVE PLANTS THE SALVAGE CONTRACTOR SHALL COMPLETE NATIVE PLANT TRACKING FORM AS WELL AS A LIST IDENTIFYING THE TAG NUMBERS OF THE PLANTS SURVIVING SALVAGE OPERATIONS TO THE CITY'S INSPECTION SERVICES UNIT WITHIN 3 MONTHS FROM THE BEGINNING OF SALVAGE OPERATIONS AND/OR PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- 14. ALL EXTERIOR LUMINAIRES SHALL MEET ALL IESNA REQUIREMENTS FOR FULL CUTOFF, AND SHALL BE AIMED DOWNWARD AND AWAY FROM PROPERTY LINES EXCEPT SIGN, PARKING LOT CANOPY AND LANDSCAPE LIGHTING.
- 15. CITY STAFF MAY AT ANY TIME REQUEST THE DEVELOPER TO SUBMIT AS-BUILT PLANS TO THE INSPECTION SERVICES DIVISION. AS BUILT PLANS SHALL BE CERTIFIED IN WRITING BY A REGISTERED PROFESSIONAL ENGINEER, USING AS-BUILT DATA FROM A REGISTERED LAND SURVEYOR. AS-BUILT PLANS FOR DRAINAGE FACILITIES AND STRUCTURES SHALL INCLUDE, BUT ARE NOT LIMITED TO STREETS, LOT GRADING, STORM DRAIN PIPE, VALLEY GUTTERS, CURB AND GUTTER, FLOOD WALLS, CULVERTS, INLET AND OUTLET STRUCTURES, DAMS, BERMS, LINED AND UNLINED OPEN CHANNELS, STORM WATER STORAGE BASINS, UNDERGROUND STORM WATER STORAGE TANKS, AND BRIDGES AS DETERMINED BY CITY STAFF.

- 16. TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONAL PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.
- 17. THE TEMPORARY/SECURITY FENCE LOCATION SHALL NOT BE MODIFIED OR THE TEMPORARY/SECURITY FENCE SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF THE PLANNING AND DEVELOPMENT SERVICES' INSPECTION SERVICES DIVISION.
- 18. NO TURF AREAS SHALL BE PROVIDED.
- 19. NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL OPEN SPACE (NAOS) AREAS.
- 20. NO HELICOPTER ACCESS OF HELIPORT APPROVED UNDER THIS REVIEW.
- 21. COORDINATE ALL OFF-SITE TRAFFIC CONTROLS WITH THE CITY OF SCOTTSDALE TRAFFIC DEPARTMENT AND ADOT DURING THE CONSTRUCTION PROCESS.
- 22. THE FACE OF THE SERVICE ENTRY SECTION SHALL BE FLUSH WITH THE BUILDING FACADE AND PAINTED TO MATCH THE BUILDING.
- 23. ROOF DRAINAGE SYSTEMS SHALL BE INTERIOR.
- 24. NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
- 25. WALL ENCLOSURE FOR REFUSE BINS AND TRASH COMPACTORS SHALL BE CONSTRUCTED OF MATERIALS, WITH COLORS AND TEXTURES WHICH ARE COMPATIBLE WITH THE BUILDING ON THE SITE.
- 26. ALL SITE WALLS SHALL MATCH THE ARCHITECTURAL COLOR. MATERIALS AND FINISH OF THE BUILDING.
- 27. THE MAXIMUM HEIGHT FROM FINISH GRADE TO THE BOTTOM OF ANY EXTERIOR LUMINAIRE SHALL NOT EXCEED TWENTY (20) FEET.
- 28. ALL LUMINAIRES SHALL BE RECESSED OR SHIELDED SO THE LIGHT SOURCE IS NOT DIRECTLY VISIBLE FROM THE PROPERTY LINE.

HELIPORT SITE PLAN NOTES

- NOTES:
- 1. THE PERIMETER OF THE TLOF AREA SHALL BE MARKED WITH A 12" WIDE CONTINUOUS WHITE PAINTED LINE.
 - 2. THE PERIMETER OF THE FATO AREA SHALL BE MARKED WITH A 12" WIDE DASHED LINE CLEARLY INDICATING THE CORNERS OF THE PERIMETER. THE PAINTED SEGMENTS OF THE LINE SHALL BE APPROXIMATELY 5' LONG WITH END-TO-END DISTANCE OF APPROXIMATELY 5'.
 - 4. THE FAA STANDARD SIZE AND WEIGHT LIMITATIONS BOX SHALL BE PROVIDE IN ACCORDANCE WITH FAA-AC 150/2390-2 FIGURE 2-22. THE 9'-0" x 6'-9" STANDARD WEIGHT AND SIZE LIMITATION BOX SHALL BE PAINTED IN WHITE WITH 5" WIDE LINES. THE BOX SHALL BE DIVIDE INTO TWO SECTIONS (TOP AND BOTTOM) BY A 5" WIDE WHITE LINE. THE TOP SECTION OF THE BOX SHALL HAVE A 5" WIDE WHITE DIAGONAL LINE PAINTED TO INDICATE NO WEIGHT LIMIT. THE BOTTOM SECTION OF THE BOX SHALL HAVE THE NUMBER "40" PAINTED IN 5" WIDE WHITE LINES TO INDICATE THE MAXIMUM ROTOR DIAMETER FOR THE HELI-PAD.
 - 5. THE FAA FORM T480 HAS BEEN FILED THE STUDY NUMBER ASSIGNED IS TO BE DETERMINED.

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TRIPLE C AIRPARK PROPERTIES
14818 N. 14TH STREET
SCOTTSDALE, ARIZONA 85260
PARCEL #215-56-047



Drawing Name:
NATURAL AREA
OPEN SPACE NOTES

Revisions

Date: 11/02/18
Project Number:
2016-009
Drawing No:

SP1.2A

18-UP-2018
11/13/2018

818-PA-2018

TRIPLE C HANGAR

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SCOTTSDALE, ARIZONA 85260

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GENERAL NOTES:

1. ALL AIRCRAFT SHALL COMPLY WITH AIRPARK RULES AND REGULATIONS PERTAINING TO AIRCRAFT WINGSPAN RESTRICTIONS AND INDEMNIFICATION.
2. GROUND COVER OR PAVING FOR TAXILANE SAFETY AREA THAT IS A WEIGHT BEARING SURFACE SHALL NOT INCLUDE ROCKS LESS THAN 2" IN DIAMETER.
3. ALL EXTERIOR LIGHTING SHALL BE DOWNWARD TO PREVENT GLARE TO PILOTS ON SURFACES FACING THE TAXILANE.

SEE ADDITIONAL NOTES AN SPI.2A

PROJECT DATA

BUILDING AREA (UNCHANGED):

OFFICE: 2,620 S.F.
HANGAR: 1,660 S.F.
MEZZANINE: 2,220 S.F.
TOTAL: 12,500 S.F.

NET LOT AREA: 33,708 S.F.

FLOOR AREA RATIO (F.A.R.): 12,500 / 33,708 = 37.08%

USABLE STAGING AREA:

6,700 S.F.
OTHER AREA (NON-MOVEMENT) 2,539 S.F.
OPEN SPACE: 9,239 S.F.

PARKING IS UNCHANGED

(CALCULATIONS ARE FOR REFERENCE ONLY)

OFFICE AREA: 2,620 / 300 = 8.7 SPACES

HANGAR AND SUPPORT AREA: 0 SPACES REQUIRED

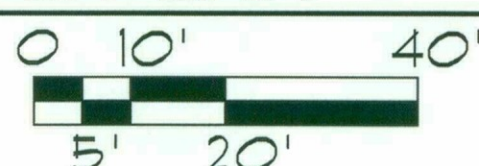
TOTAL SPACES REQUIRED = 9 SPACES

SITE PLAN KEYNOTES

- 1 EXISTING ASPHALT PARKING LOT
- 2 EXISTING SITE SECURITY WALL
- 3 EXISTING DUMPSTER ENCLOSURE
- 4 EXISTING CONCRETE CURB AND GUTTER
- 5 EXISTING CONCRETE PAVED STAGING AREA WITH LESS THAN 2% SLOPE
- 6 EXISTING TAXI-LANE CENTERLINE
- 7 EXISTING LANDSCAPE AREA
- 8 AIRPORT REQUESTED NON-MOVEMENT AREA PER CITY OF SCOTTSDALE MUNICIPAL AIRPORT STANDARDS

HELIPORT SITE PLAN

SCALE: 1"=20'-0"



74TH STREET

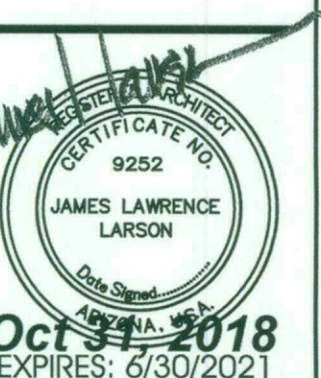
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TRIPLE C AIRPARK PROPERTIES

14818 N. 14TH STREET
SCOTTSDALE, ARIZONA 85260
PARCEL #215-56-047



Drawing Name:
AIRPORT DATA
SITE PLAN

Revisions

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SPI.1

18-UP-2018
11/13/2018

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TRIPLE C HANGAR

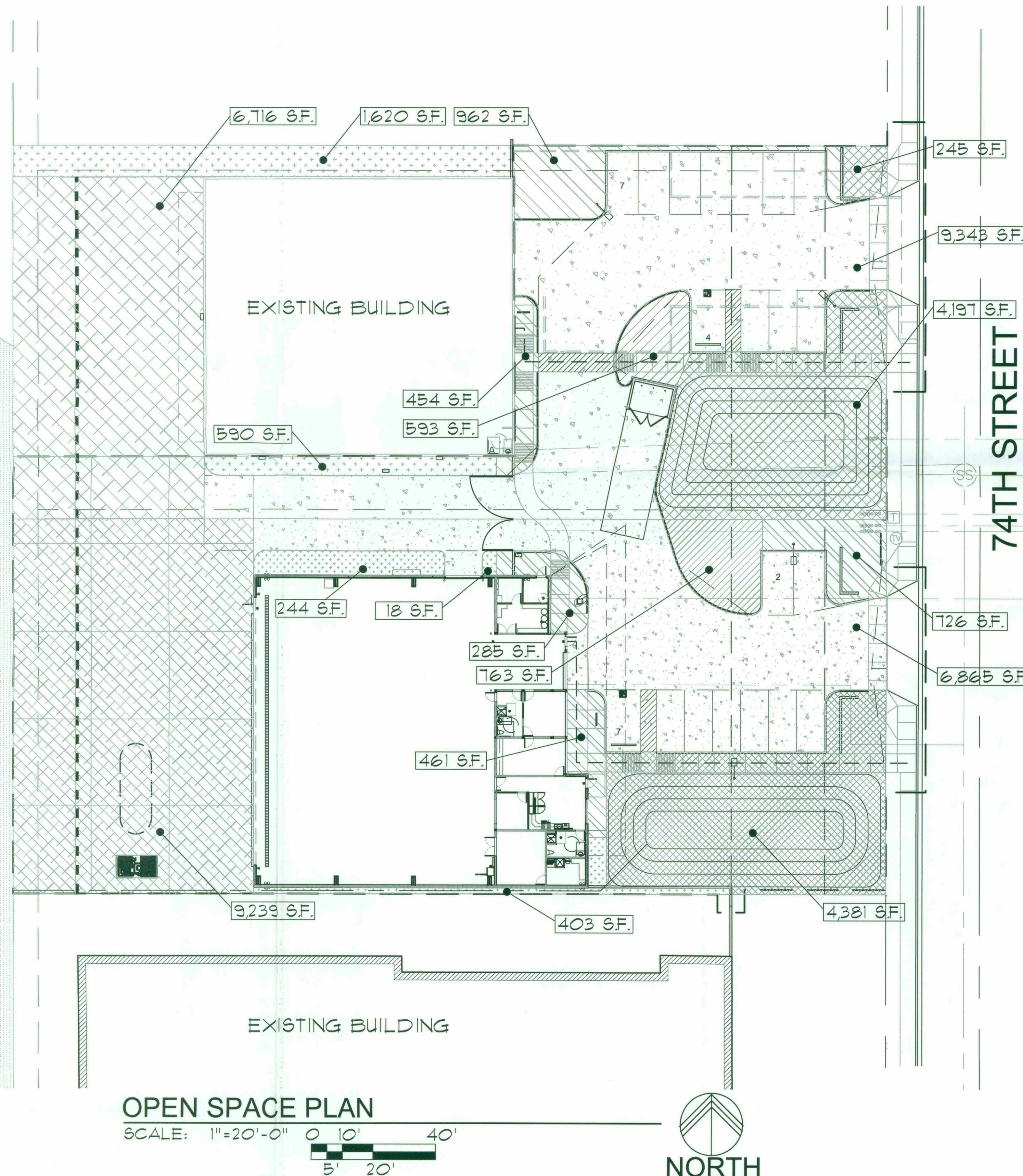
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OPEN SPACE PLAN

SCALE: 1"=20'-0"
0 10' 20' 40'



OPEN SPACE CALCULATIONS (NORTH PROPERTY)

PARKING LOT PAVED AREA:
9,343 S.F.
PARKING LOT LANDSCAPING REQUIRED
(PARKING LOT AREA X 15%) = 9,343x.15 = 1,401.45 S.F.
PARKING LOT LANDSCAPE PROVIDED:
1,416 S.F. = OK
INTERIOR PARKING LOT LANDSCAPING REQUIRED
(PARKING LOT LANDSCAPE REQUIRED)x.33:
= 1,401.45 x .33 = 462.48 S.F.
INTERIOR PARKING LOT LANDSCAPE PROVIDED:
593 S.F. = OK
OPEN FRONT SPACE REQUIRED:
= 35x119.92 = 4,197.20 S.F.
OPEN FRONT SPACE PROVIDED
4,442 S.F. = OK
STAGING AREA:
USEABLE: 4,646 S.F.
OPEN SPACE: 6,716 S.F.
SIDE OPEN SPACE (NOT INCLUDED ABOVE)
2,210 S.F.
REQUIRED OPEN SPACE:
MAXIMUM BUILDING HEIGHT = 36'-0"
PROVIDED: 36'-0"
FIRST 12'-0" OF HEIGHT
(10% X NET LOT AREA) = .10x33,699=3,369.90 S.F.
NEXT 24'-0" OF HEIGHT = 24.833x.004x33,699 = 3,347.39 S.F.
OPEN SPACE REQUIRED
(NOT INCLUDING PARKING LOT LANDSCAPING)
= 3,369.90 + 3,347.39 = 6,717.29
STAGING AREA REDUCTION:
REDUCED OPEN SPACE REQUIRED:
= 6,717.29((33,699-6,716)/33,699) = 5,378.58 S.F.
TOTAL REQUIRED= 5,378.58 S.F.
OPEN SPACE PROVIDED = 13,368 S.F. = OK

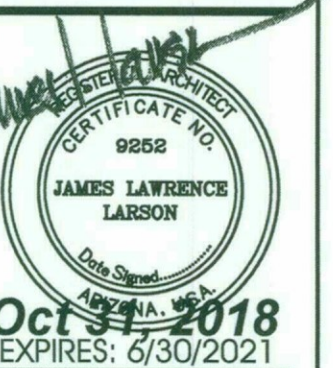
OPEN SPACE CALCULATIONS (SOUTH PROPERTY)

PARKING LOT PAVED AREA:
6,865 S.F.
PARKING LOT LANDSCAPING REQUIRED
(PARKING LOT AREA X 15%) = 6,865x.15 = 1,029.75 S.F.
PARKING LOT LANDSCAPE PROVIDED:
1,472 S.F. = OK
INTERIOR PARKING LOT LANDSCAPING REQUIRED
(PARKING LOT LANDSCAPE REQUIRED)x.33:
= 1,029.75 x .33 = 339.82 S.F.
INTERIOR PARKING LOT LANDSCAPE PROVIDED:
763 S.F. = OK
OPEN FRONT SPACE REQUIRED:
= 35x119.92 = 4,197.20 S.F.
OPEN FRONT SPACE PROVIDED
4,381 S.F. = OK
STAGING AREA:
USEABLE: 6,700 S.F.
OPEN SPACE: 9,239 S.F.
SIDE OPEN SPACE (NOT INCLUDED ABOVE)
665 S.F.
REQUIRED OPEN SPACE:
MAXIMUM BUILDING HEIGHT = 36'-0"
PROVIDED: 36'-0"
FIRST 12'-0" OF HEIGHT
(10% X NET LOT AREA) = .10x33,708=3,370.80 S.F.
NEXT 24'-0" OF HEIGHT = 24.833x.004x33,708 = 3,348.28 S.F.
OPEN SPACE REQUIRED
(NOT INCLUDING PARKING LOT LANDSCAPING)
= 3,370.80 + 3,348.28 = 6,719.08
STAGING AREA REDUCTION:
REDUCED OPEN SPACE REQUIRED:
= 6,719.08((33,708-9,239)/33,708) = 4,877.45 S.F.
TOTAL REQUIRED = 4,877.45 S.F.
OPEN SPACE PROVIDED = 14,285 S.F. = OK

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PARCEL #215-56-047



Drawing Name:
NATURAL AREA
OPEN SPACE PLAN

Revisions

Date: 11/02/18

Project Number:
2016-009

Drawing No:

SP1.2
18-UP-2018
11/13/2018

818-PA-2018

REQUIRED SITE PLAN GENERAL NOTES

- 1. SIGHT DISTANCE TRIANGLES SHALL BE SHOWN ON FINAL PLANS FOR DRIVEWAYS FROM COMMERCIAL SITES AND ANY INTERSECTIONS. AREA WITHIN THE SAFETY TRIANGLE IS TO BE CLEAR OF LANDSCAPING, SIGNS, OR OTHER VISIBILITY OBSTRUCTIONS WITH A HEIGHT GREATER THAN 15 FEET. TREES WITHIN THE SAFETY TRIANGLE SHALL HAVE A CANOPY THAT BEGINS AT 8 FEET IN HEIGHT UPON INSTALATION. ALL HEIGHTS ARE MEASURED FROM NEAREST STREET LINE ELEVATION.
- 2. ALL RIGHT-OF-WAY ADJACENT TO THIS PROPERTY SHALL BE LANDSCAPED AND MAINTAINED BY THE PROPERTY OWNER.
- 3. ALL SIGNS REQUIRE SEPERATE PERMITS AND APPROVALS.
- 4. NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
- 5. FLAG POLES, IF PROVIDED SHALL BE ONE PIECE CONICAL TAPERED.
- 6. NO EXTERIOR PUBLIC ADDRESS OR SPEAKER SYSTEM SHALL BE ALLOWED.
- 7. ALL EXTERIOR MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED TO A HEIGHT OF THE TALLEST UNIT BY PARAPET OR SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING. GROUND MOUNTED MECHANICAL, UTILITY, AND COMMUNICATION EQUIPMENT SHALL BE SCREENED BY A SCREEN WALL THAT MATCHES THE ARCHITECTURAL COLOR AND ARCHITECTURAL FINISH OF THE BUILDING, WHICH IS A MINIMUM OF 1'-0" HIGHER THAN THE HEIGHEST POINT OF TALLEST UNIT.
- 8. ALL EQUIPMENT, UTILITIES, OR OTHER APPURENANCES ATTACHED TO THE BUILDING SHALL BE AN INTEGRAL PART OF THE BUILDING DESIGN IN TERMS OF FORM, COLOR AND TEXTURE.
- 9. NO EXTERIOR VISIBLE LADDERS SHALL BE ALLOWED.
- 10. ALL POLE MOUNTED LIGHTING SHALL BE A MAXIMUM OF 20 FEET IN HEIGHT.

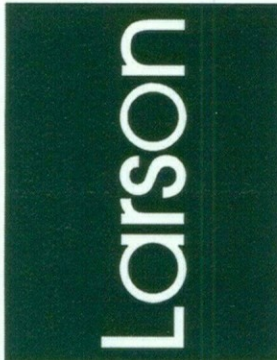
- 11. NO CHAIN LINK OR DOOLEY WALL FENCING SHALL BE ALLOWED.
- 12. ALL EXTERIOR CONDUIT AND RACEWAYS SHALL BE PAINTED TO MATCH THE BUILDING.
- 13. UPON REMOVAL OF THE SALVAGEABLE NATIVE PLANTS THE SALVAGE CONTRACTOR SHALL COMPLETE NATIVE PLANT TRACKING FORM AS WELL AS A LIST IDENTIFYING THE TAG NUMBERS OF THE PLANTS SURVIVING SALVAGE OPERATIONS TO THE CITY'S INSPECTION SERVICES UNIT WITHIN 3 MONTHS FROM THE BEGINNING OF SALVAGE OPERATIONS AND/OR PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- 14. ALL EXTERIOR LUMINAIRES SHALL MEET ALL IESNA REQUIREMENTS FOR FULL CUTOFF, AND SHALL BE AIMED DOWNWARD AND AWAY FROM PROPERTY LINES EXCEPT SIGN, PARKING LOT CANOPY AND LANDSCAPE LIGHTING.
- 15. CITY STAFF MAY AT ANY TIME REQUEST THE DEVELOPER TO SUBMIT AS-BUILT PLANS TO THE INSPECTION SERVICES DIVISION. AS BUILT PLANS SHALL BE CERTIFIED IN WRITING BY A REGISTERED PROFESSIONAL ENGINEER, USING AS-BUILT DATA FROM A REGISTERED LAND SURVEYOR. AS-BUILT PLANS FOR DRAINAGE FACILITIES AND STRUCTURES SHALL INCLUDE, BUT ARE NOT LIMITED TO STREETS, LOT GRADING, STORM DRAIN PIPE, VALLEY GUTTERS, CURB AND GUTTER, FLOOD WALLS, CULVERTS, INLET AND OUTLET STRUCTURES, DAMS, BERMS, LINED AND UNLINED OPEN CHANNELS, STORM WATER STORAGE BASINS, UNDERGROUND STORM WATER STORAGE TANKS, AND BRIDGES AS DETERMINED BY CITY STAFF.

- 16. TEMPORARY/SECURITY FENCING THAT IS REQUIRED OR IS OPTIONAL PROVIDED SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE AND THE DESIGN STANDARDS AND POLICIES MANUAL.
- 17. THE TEMPORARY/SECURITY FENCE LOCATION SHALL NOT BE MODIFIED OR THE TEMPORARY/SECURITY FENCE SHALL NOT BE REMOVED WITHOUT THE APPROVAL OF THE PLANNING AND DEVELOPMENT SERVICES' INSPECTION SERVICES DIVISION.
- 18. NO TURF AREAS SHALL BE PROVIDED.
- 19. NO IRRIGATION SHALL BE PROVIDED TO UNDISTURBED NATURAL OPEN SPACE (NAOS) AREAS.
- 20. NO HELICOPTER ACCESS OF HELIPORT APPROVED UNDER THIS REVIEW.
- 21. COORDINATE ALL OFF-SITE TRAFFIC CONTROLS WITH THE CITY OF SCOTTSDALE TRAFFIC DEPARTMENT AND ADOT DURING THE CONSTRUCTION PROCESS.
- 22. THE FACE OF THE SERVICE ENTRY SECTION SHALL BE FLUSH WITH THE BUILDING FACADE AND PAINTED TO MATCH THE BUILDING.
- 23. ROOF DRAINAGE SYSTEMS SHALL BE INTERIOR.
- 24. NO EXTERIOR VENDING OR DISPLAY SHALL BE ALLOWED.
- 25. WALL ENCLOSURE FOR REFUSE BINS AND TRASH COMPACTORS SHALL BE CONSTRUCTED OF MATERIALS, WITH COLORS AND TEXTURES WHICH ARE COMPATIBLE WITH THE BUILDING ON THE SITE.
- 26. ALL SITE WALLS SHALL MATCH THE ARCHITECTURAL COLOR, MATERIALS AND FINISH OF THE BUILDING.
- 27. THE MAXIMUM HEIGHT FROM FINISH GRADE TO THE BOTTOM OF ANY EXTERIOR LUMINAIRE SHALL NOT EXCEED TWENTY (20) FEET.
- 28. ALL LUMINAIRES SHALL BE RECESSED OR SHIELDED SO THE LIGHT SOURCE IS NOT DIRECTLY VISIBLE FROM THE PROPERTY LINE.

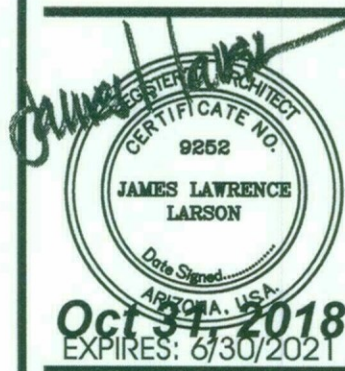
HELIPORT SITE PLAN NOTES

- NOTES:
- 1. THE PERIMETER OF THE TLOF AREA SHALL BE MARKED WITH A 12" WIDE CONTINUOUS WHITE PAINTED LINE.
 - 2. THE PERIMETER OF THE FATO AREA SHALL BE MARKED WITH A 12" WIDE DASHED LINE CLEARLY INDICATING THE CORNERS OF THE PERIMETER. THE PAINTED SEGMENTS OF THE LINE SHALL BE APPROXIMATELY 5' LONG WITH END-TO-END DISTANCE OF APPROXIMATELY 5'.
 - 4. THE FAA STANDARD SIZE AND WEIGHT LIMITATIONS BOX SHALL BE PROVIDE IN ACCORDANCE WITH FAA-AC 150/2390-2 FIGURE 2-22. THE 9'-0" x 6'-9" STANDARD WEIGHT AND SIZE LIMITATION BOX SHALL BE PAINTED IN WHITE WITH 5" WIDE LINES. THE BOX SHALL BE DIVIDE INTO TWO SECTIONS (TOP AND BOTTOM) BY A 5" WIDE WHITE LINE. THE TOP SECTION OF THE BOX SHALL HAVE A 5" WIDE WHITE DIAGONAL LINE PAINTED TO INDICATE NO WEIGHT LIMIT. THE BOTTOM SECTION OF THE BOX SHALL HAVE THE NUMBER "40" PAINTED IN 5" WIDE WHITE LINES TO INDICATE THE MAXIMUM ROTOR DIAMETER FOR THE HELI-PAD.
 - 5. THE FAA FORM 7480 HAS BEEN FILED THE STUDY NUMBER ASSIGNED IS TO BE DETERMINED.

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TRIPLE C AIRPARK PROPERTIES
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SCOTTSDALE, ARIZONA 85260
PARCEL #215-56-047



Drawing Name:
NATURAL AREA
OPEN SPACE NOTES

Revisions

Date: 11/02/18

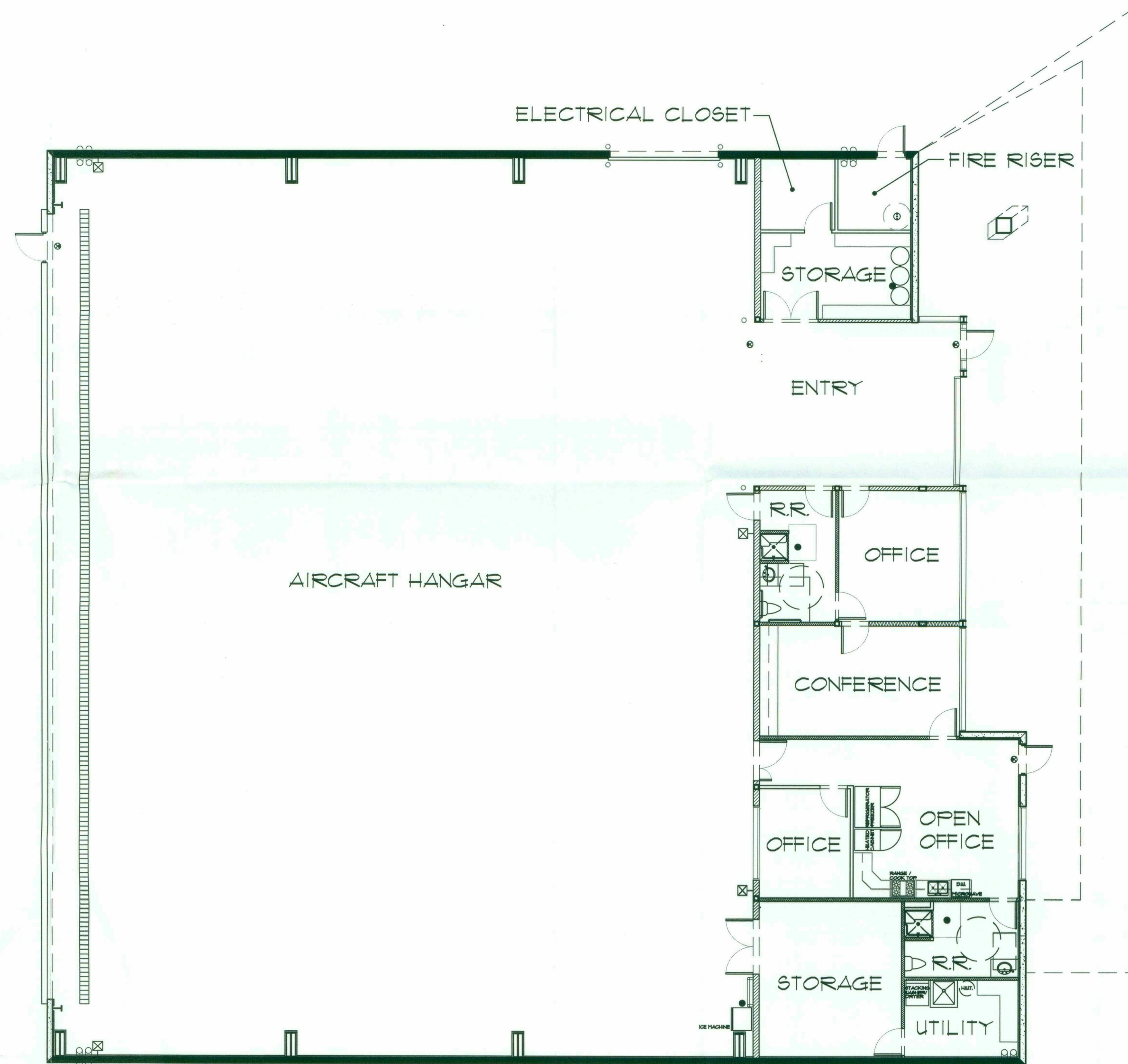
Project Number:
2016-009

Drawing No:

SP1.2A

18-UP-2018
11/13/2018

818-PA-2018



FLOOR PLAN

SCALE: 1/8"=1'-0"



- NOTES:
1. NO WORK SHALL BE PREFORMED INSIDE THE BUILDING OR TO THE EXTERIOR OF THE BUILDING AS A PART OF THE HELIPORT USE PERMIT PROCESS.
 2. ALL CONDITIONS INSIDE THE BUILDING ARE EXISTING TO REMAIN.

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 SCOTTSDALE, ARIZONA 85260
 PARCEL #215-56-047



Drawing Name:
 FIRST FLOOR PLAN

Revisions

Date: 11/02/18

Project Number:
 2016-009

Drawing No:

A1.0

18-UP-2018
 11/13/2018

818-PA-2018